

477 E. HILLSDALE BLVD.

SB330 PREAPPLICATION SUBMITTAL



PROJECT DATA		
SITE SUMMARY		
Site Address	477 E. Hillsdale Blvd. San Mateo, CA	
Site APN	40-102-630, 40-102-620, 40-102-580	
Gross Site Area	133,104 sf	
	3.056 ac	
ZONING SUMMARY		
Development Standard	Permitted:	Proposed:
Zoning Classification	C2-0.5	C2-0.5 w/ SUP
Parcel Area	15,000 sf min	133,104 sf
Parcel Width	100 ft min	104 ft
Parcel Area per DU	870 sf min	578.7 sf
Density	50.07 du / ac max	75.27 du / ac
Floor Area (Per San Mateo Zoning)	66,552 sf max	248,900 sf
Floor Area Ratio	0.50 max	1.87
Bldg. Height	40 ft max	4 stories
		+/- 55 ft (Top of plate)
Bldg Coverage	96,694 sf	
	72.6%	
Site Open Space Area	58,725 sf	
	44.1%	
Setbacks		
E Hillsdale Blvd Frontage	10' min (bldg)	
	11' min (deck)	
E Hillsdale Court Frontage (Buffer across from R3 District)	15 ft min	
	11' min (bldg)	
Northeast Side	6' min (deck)	
	9' min (bldg)	
Southwest Side	7' min (deck)	
	50' min (bldg)	
		50' min (deck)

PROJECT TEAM:

OWNER:
477 HILLSDALE, LLC.
TEL 669-259-6558
CONTACT : JARED GAMELIN

ARCHITECT:
DAHLIN
5865 OWENS DRIVE
PLEASANTON, CA 94588
TEL 925-251-7200
CONTACT : PADRU C. KANG

CIVIL ENGINEER:
BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
TEL 650-482-6458
CONTACT : SIMON NORTH

LANDSCAPE ARCHITECT:
JETT
2 THEATRE SQUARE, SUITE 218
ORINDA, CA 94563
TEL 925-254-5422
CONTACT : BRUCE JETT

SHEET INDEX:

ARCHITECTURAL DRAWINGS
A-1 Title Sheet

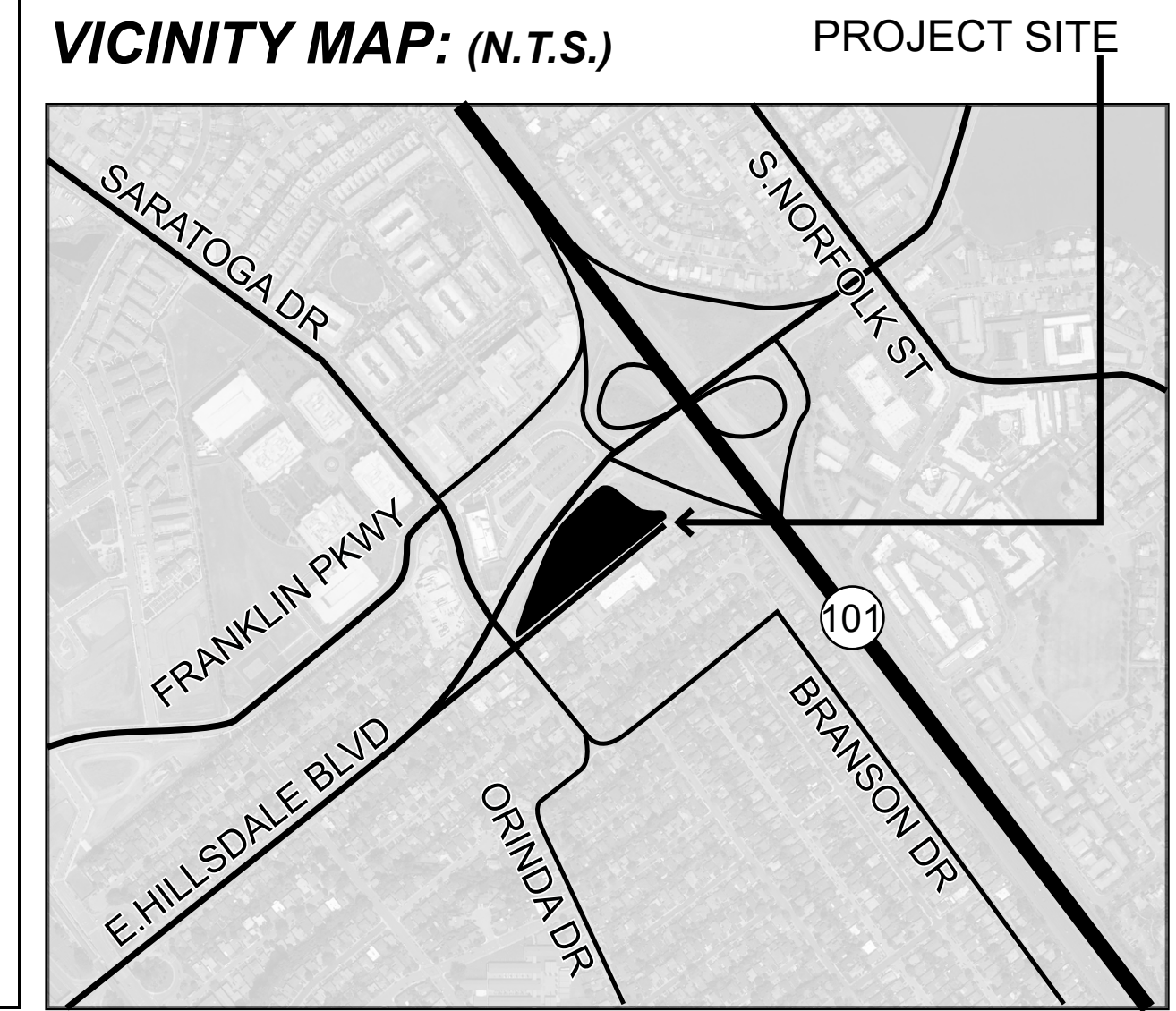
SITE PLANS
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CIVIL DRAWINGS
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C1.01 Notes, Legend and Abbrv
C2.00 Existing Boundary and Topographic Survey
C2.01 Proposed Boundary

APPLICABLE CODES:

2019 CBC - CA Building Code Parts 1 & 2
2019 CGBC - CA Green Building Code
2019 CMC - CA Mechanical Code
2019 California Referenced Standards Code
2019 CPC - CA Plumbing Code
City of San Mateo Municipal Code
2019 CFC - CA Fire Code
2019 CENC - CA Energy Code
2019 CPC - CA Plumbing Code



ARCHITECTURAL DATA										
Unit Name	Bed Count	Bath Count	Gross Unit SF	Net Unit SF	Deck SF	Unit Count	Unit Mix (%)	Total Gross Unit SF	Total Net Unit SF	Total Deck SF
1-BEDROOM SUB-TOTAL						150	65%	116,550	108,300	8,400
1-A	1	1	777	722	56	150	65%	116,550	108,300	8,400
2-BEDROOM SUB-TOTAL						80	35%	82,960	154,560	4,608
2-A	2	2	1,037	968	56	48	21%	49,776	46,464	2,688
2-B	2	2	1,037	963	60	32	14%	33,184	30,816	1,920
PROJECT TOTAL						230	100%	199,510	262,860	13,008

UNIT COUNTS BY FLOOR					
Unit Type	Level 1	Level 2	Level 3	Level 4	Total
1-A	35	38	39	38	150
2-A	12	12	12	12	48
2-B	6	9	9	8	32
TOTAL	53	59	60	50	230

FLOOR AREA SUMMARY					
LEVEL	RESIDENTIAL GSF	AMENITY GSF	EXEMPT GSF	TOTAL GROSS FLOOR AREA	TOTAL NET FLOOR AREA
LEVEL 4	59,725	2,067	5,457	67,249	61,792
LEVEL 3	61,792	0	5,573	67,365	61,792
LEVEL 2	60,915	1,311	5,499	67,725	62,226
LEVEL 1 (GROUND)	57,993	5,097	3,935	67,025	63,090
BASMENT			93,706	93,706	0
Total :	240,425	8,475	114,170	363,070	248,900

PARKING SUMMARY				
PARKING TYPE	STALLS REQUIRED		STALLS PROVIDED	
	PER UNIT	TOTAL	PER UNIT	TOTAL
Resident Parking		384.0		283
1-Bed	1.6	240	1	150
2-Bed	1.8	144.0	1.5 min	133
Guest Parking	0.2	46	0.00	0
Total		430		283

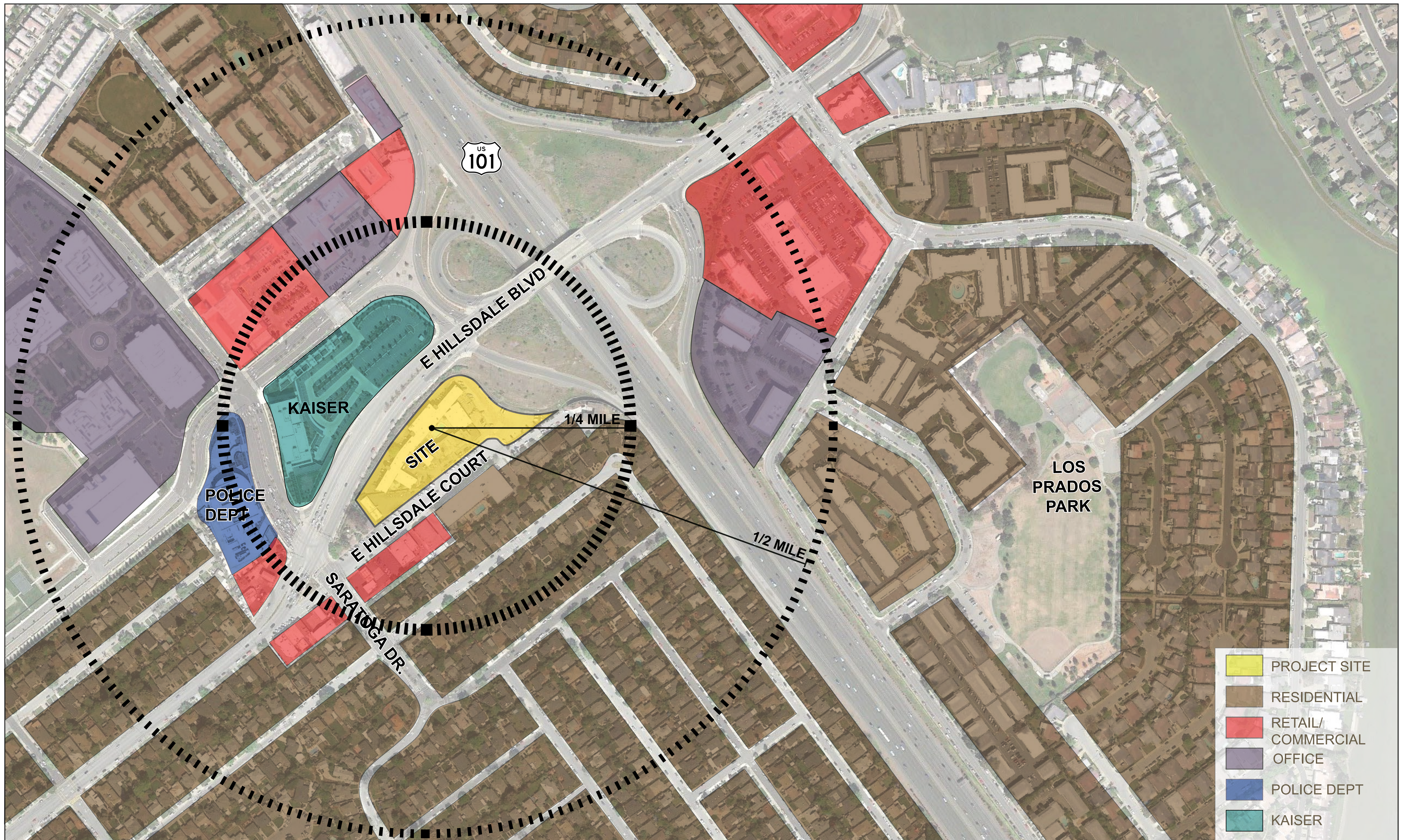
PARKING DETAIL				
PARKING TYPE	STALLS REQUIRED	STALLS PROVIDED		
		GARAGE	SURFACE	TOTAL
Resident Parking	384.0	268	15	283
Standard Stalls		140	5	145
Tandem Stalls (Standard)		17		17
Compact Stalls (40% max)	113.2	62	7	69
Tandem Stalls (Compact)		8		8
EV Capable Stalls (15% min)	42.45	41	3	44
Accessible Stalls (2% min)	4.78	5 of 227	1 of 12	6 of 239
EV Capable Acc. Stalls (1/25 EV min)	1.76	2 of 41	1 of 3	3 of 44
Guest Parking	46	0	0	0

BICYCLE PARKING SUMMARY				
PARKING TYPE	PER UNIT	STALLS REQUIRED		STALLS PROVIDED
		TOTAL		
Long-Term Parking		250		250
1-Bed	1.0	150		150
	1.25	100		100
Short-Term Parking		15.5		16
1-Bed	0.05	7.5		8
	0.1	8		8

477 E. HILLSDALE BLVD. SAN MATEO, CA
477 Hillsdale, LLC



TITLE SHEET
JOB NO. 1074.004
DATE 03-18-2022
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200
A-1



477 E. HILLSDALE BLVD. SAN MATEO, CA
 477 Hillside, LLC

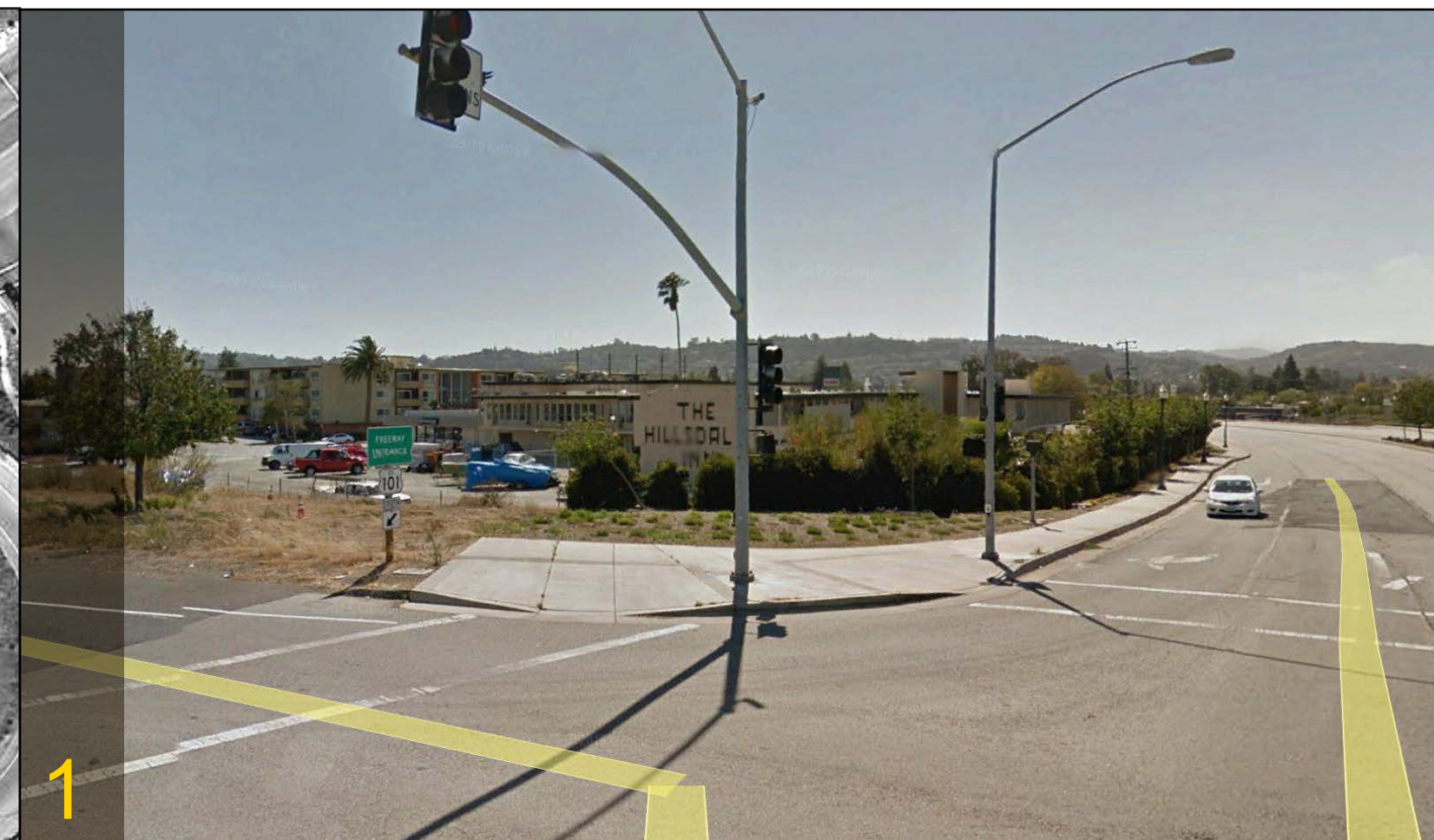
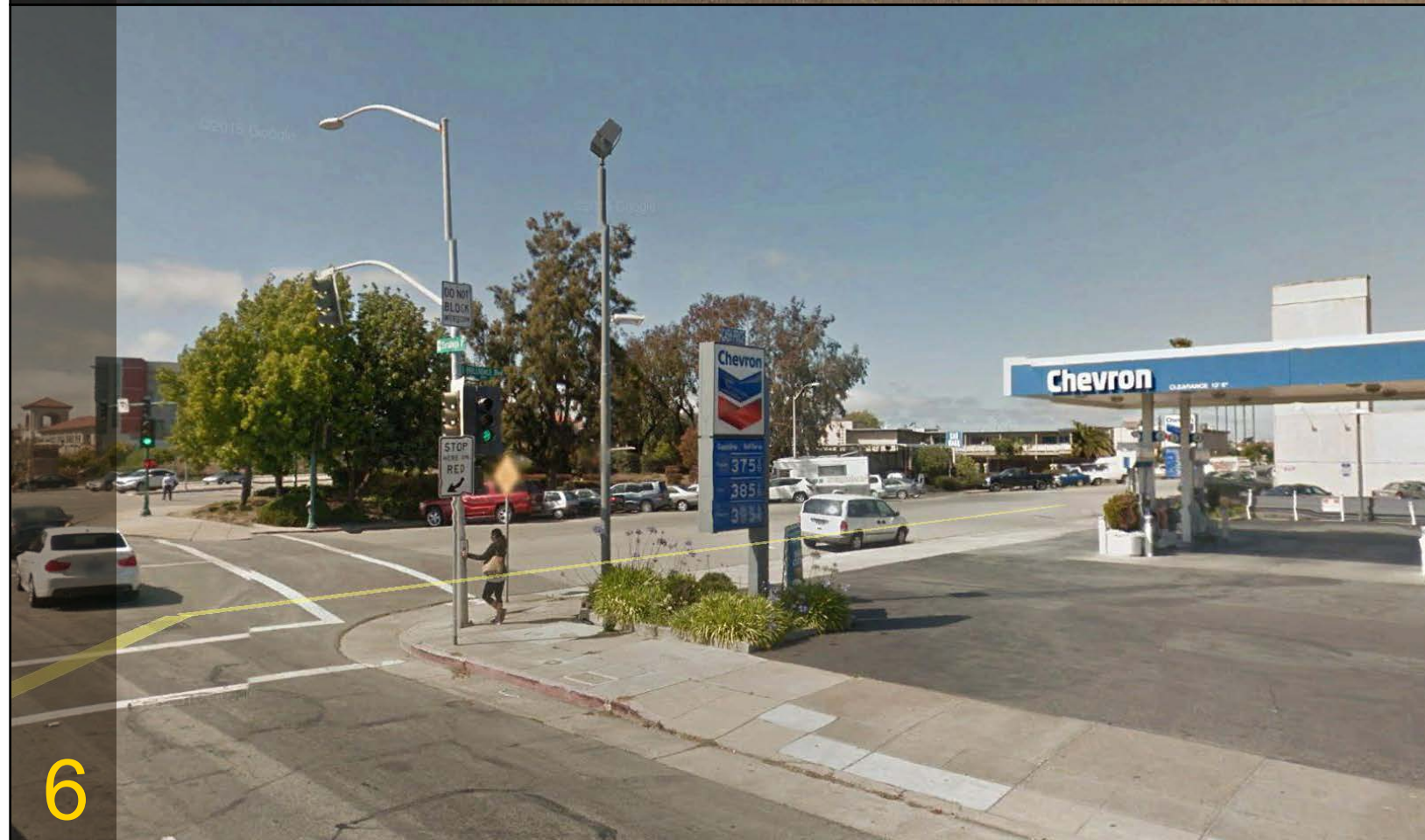
CONTEXT MAP



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N.T.S



N.T.S

477 E. HILLSDALE BLVD. SAN MATEO, CA
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EXISTING SITE AND STREET FRONTAGES



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EXISTING BUILDING ELEVATIONS



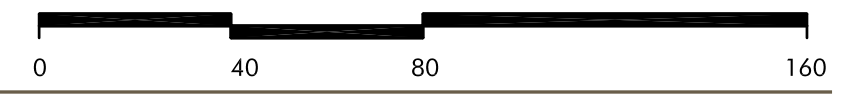
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PROPOSED SITE PLAN



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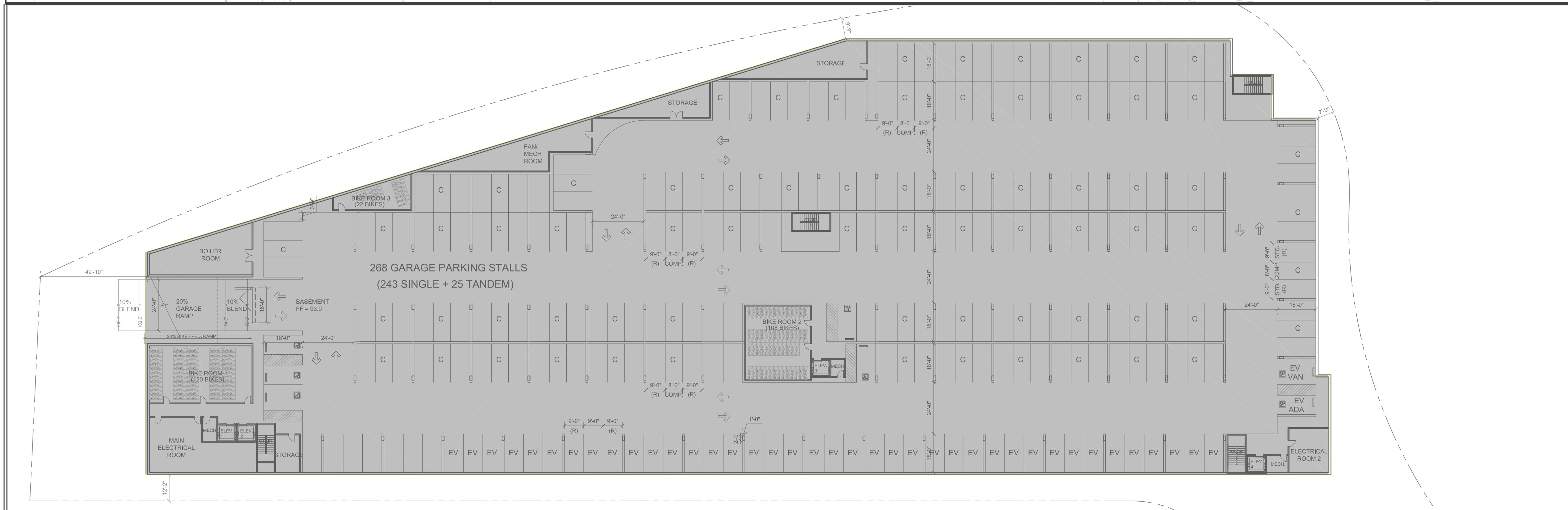




**OPEN SPACE AREA:
58,725 SF (44.1 %)**

- INCLUDES FIRST LEVEL
OPEN SPACE AREAS.

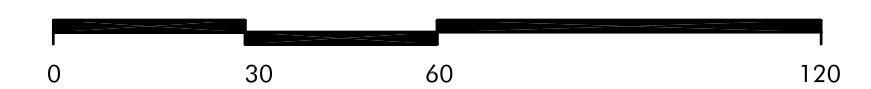
- DOES NOT INCLUDE
UPPER LEVEL PRIVATE
DECK AREAS, INDOOR
ASSEMBLY AREAS, OR
COMMON ROOF DECK
AREA.



FLOOR AREA SUMMARY					
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* MEASURED PER SAN MATEO FLOOR AREA DEFINITION

BASEMENT LEVEL



477 E. HILLSDALE BLVD. SAN MATEO, CA
477 Hillside, LLC

OPEN SPACE & FLOOR AREA DIAGRAMS



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FIRST LEVEL



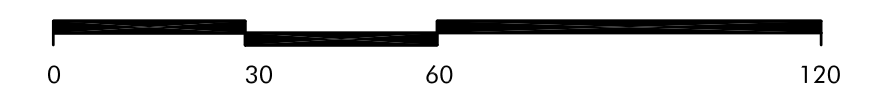
SECOND LEVEL

FLOOR AREA SUMMARY					
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477 E. HILLSDALE BLVD. SAN MATEO, CA
477 Hillsdale, LLC

FLOOR AREA DIAGRAMS



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THIRD LEVEL



FOURTH LEVEL

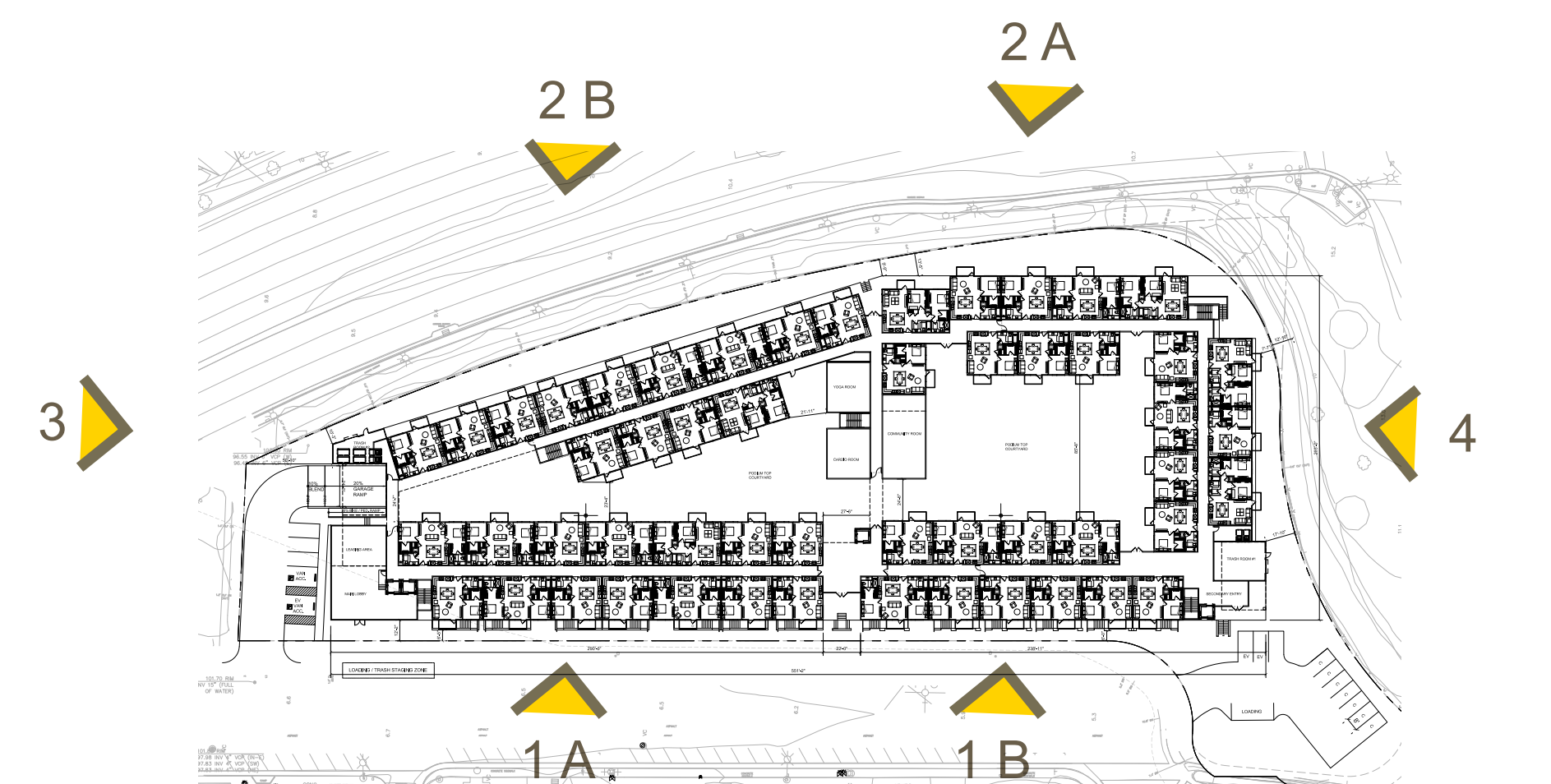
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* MEASURED PER SAN MATEO FLOOR AREA DEFINITION



MATERIAL LIST

- | | |
|----------------------------------|--|
| 1 3 COAT STUCCO W/MTL REVEALS | 8 CRAFT STONE VENEER |
| 2 WOOD GRAIN PORCELAIN TILE | 9 CONCRET WALL |
| 3 SMOOTH CEMENTITIOUS PANEL/TRIM | 10 STOREFRONT WINDOW AND DOOR |
| 4 METAL PANEL | 11 FIBERGLASS DOOR |
| 5 METAL GUARDRAIL | 12 VINYL WINDOW |
| 6 METAL AWNING | 13 WOOD SCREEN WITH METAL POST AND FRAME |
| 7 DECORATIVE METAL FIN | |



SOUTH

SCALE: 3/32" = 1'-0"
0 8 16 32

477 E. HILLSDALE BLVD. SAN MATEO, CA
477 Hillside, LLC

BUILDING ELEVATIONS



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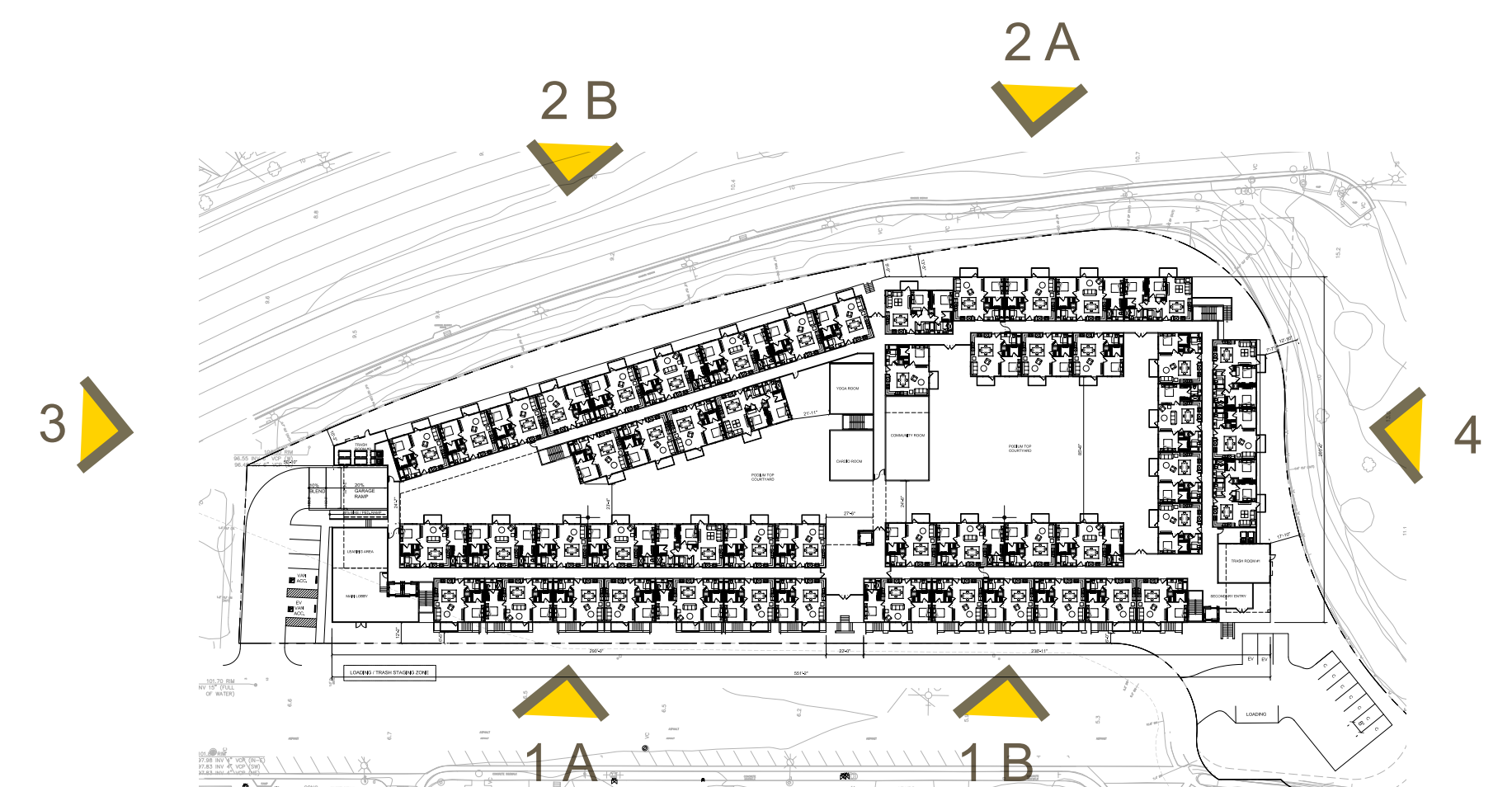
2A



2B

MATERIAL LIST

- | | | | |
|---|--------------------------------|----|---------------------------------------|
| 1 | 3 COAT STUCCO W/MTL REVEALS | 8 | CRAFT STONE VENEER |
| 2 | WOOD GRAIN PORCELAIN TILE | 9 | CONCRET WALL |
| 3 | SMOOTH CEMENTITIOUS PANEL/TRIM | 10 | STOREFRONT WINDOW AND DOOR |
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| 5 | METAL GUARDRAIL | 12 | VINYL WINDOW |
| 6 | METAL AWNING | 13 | WOOD SCREEN WITH METAL POST AND FRAME |
| 7 | DECORATIVE METAL FIN | | |



NORTH

SCALE: 3/32" = 1'-0"
0 8 16 32

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BUILDING ELEVATIONS



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3

WEST ELEVATION

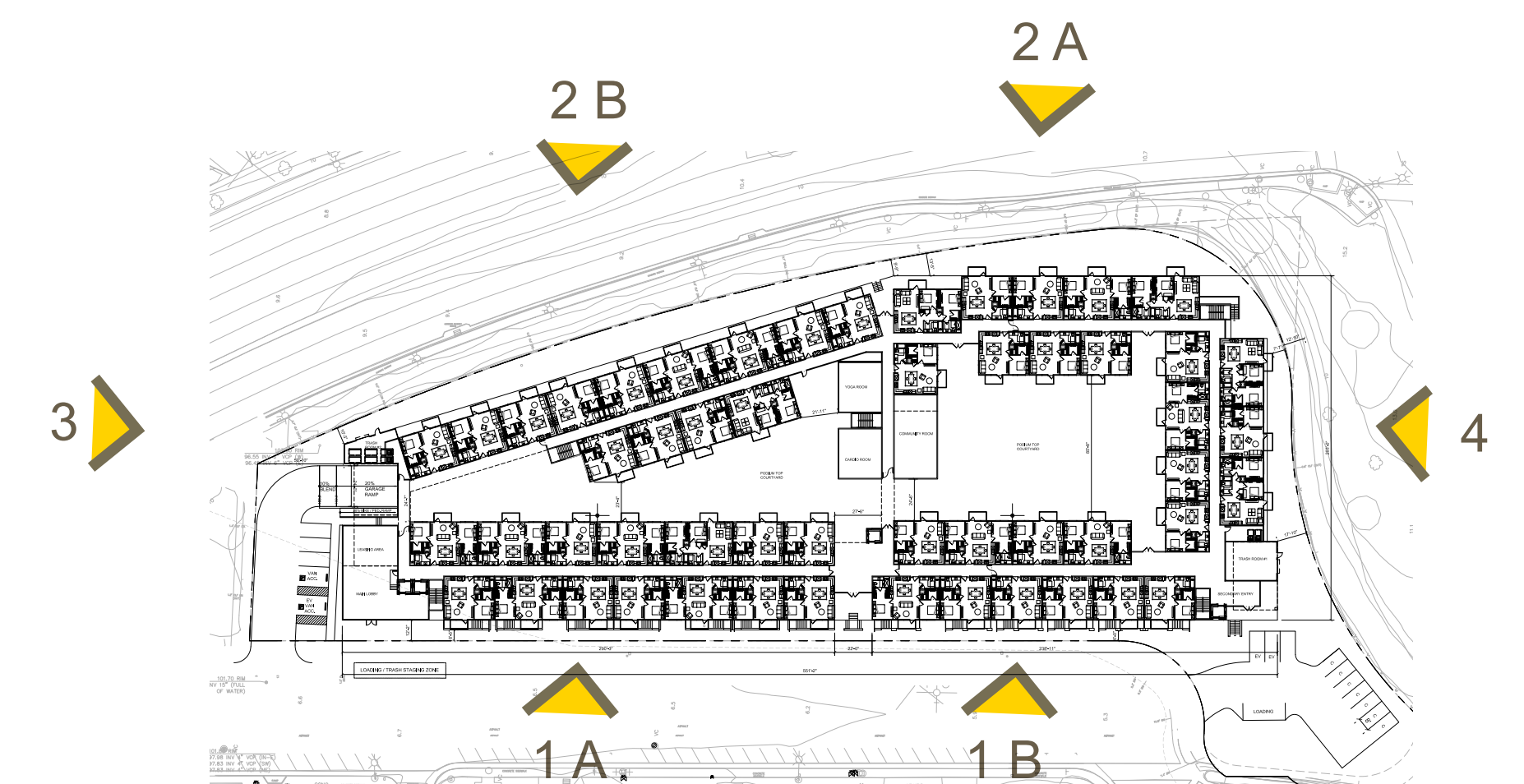


4

EAST ELEVATION

MATERIAL LIST

- | | |
|----------------------------------|--|
| 1 3 COAT STUCCO W/MTL REVEALS | 8 CRAFT STONE VENEER |
| 2 WOOD GRAIN PORCELAIN TILE | 9 CONCRET WALL |
| 3 SMOOTH CEMENTITIOUS PANEL/TRIM | 10 STOREFRONT WINDOW AND DOOR |
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| 7 DECORATIVE METAL FIN | |



WEST & EAST

SCALE: 3/32" = 1'-0"
0 8 16 32

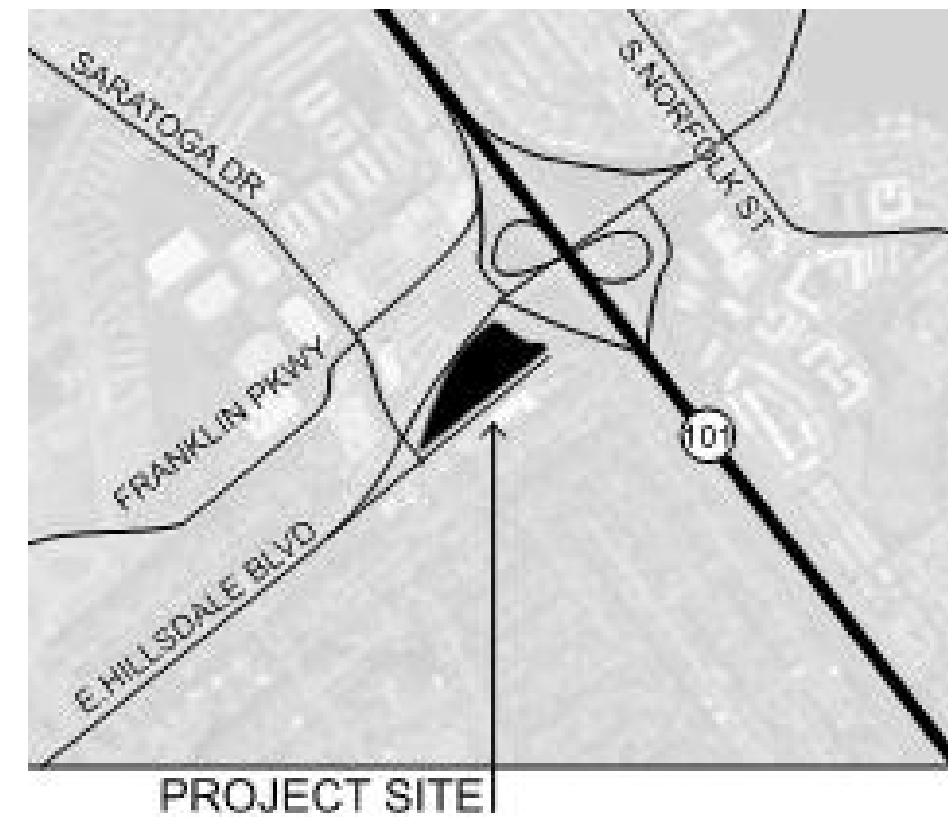
TENTATIVE PARCEL MAP

EAST HILLSDALE BLVD

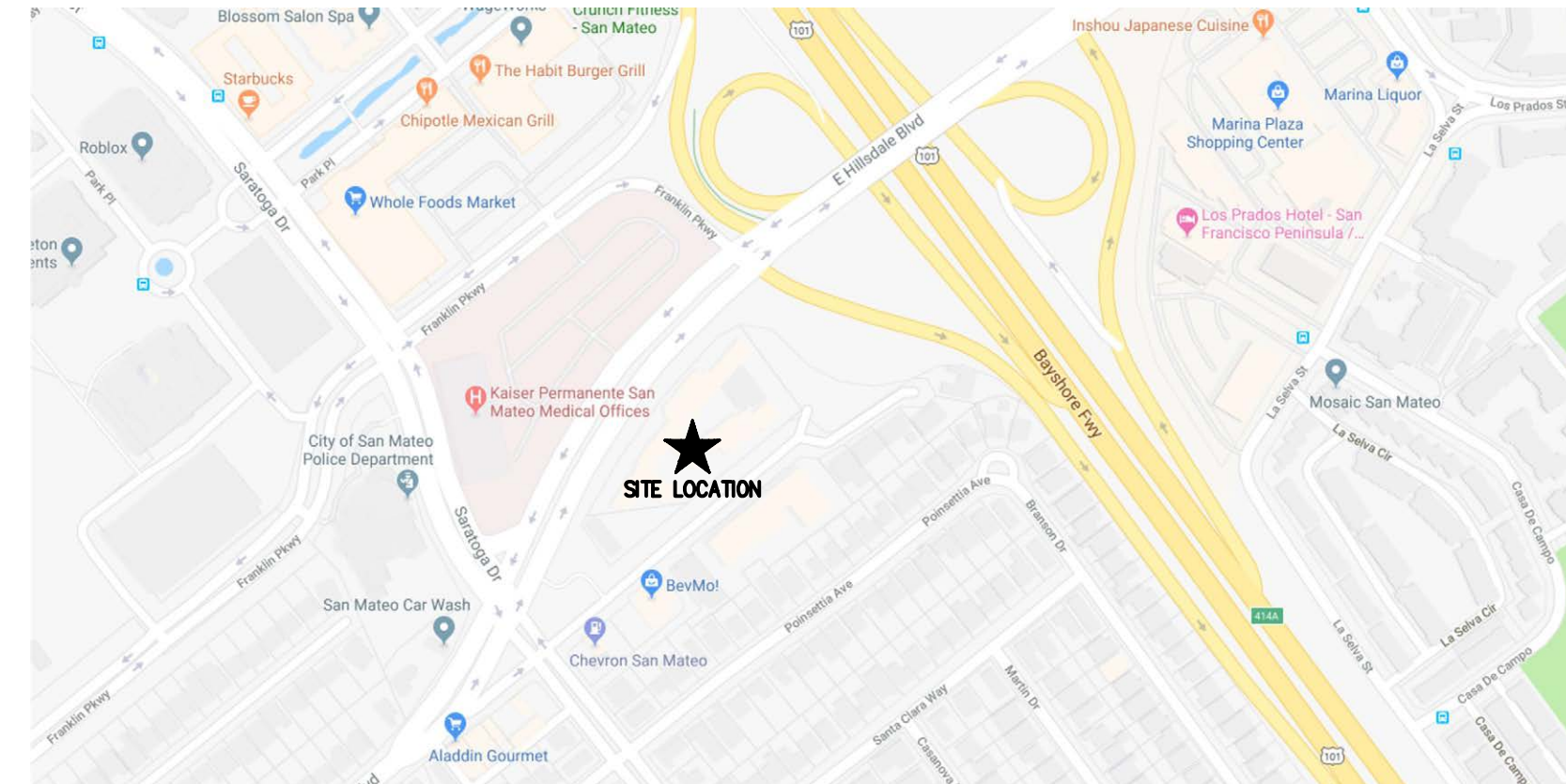
477 EAST HILLSDALE BLVD, SAN MATEO, CALIFORNIA

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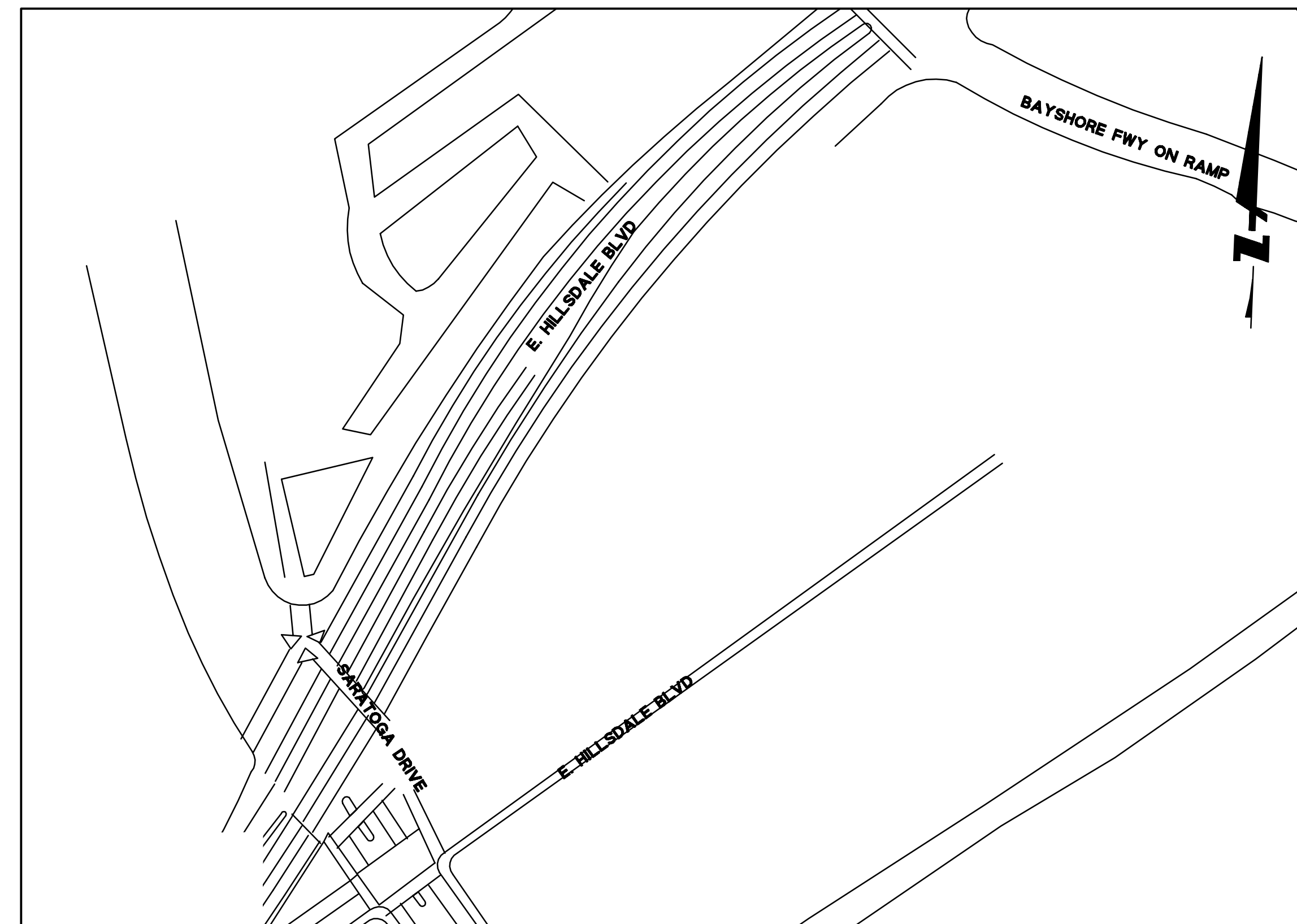
SHEET NO	DESCRIPTION
C1.00	TITLE SHEET
C1.01	NOTES, LEGEND AND ABBREVIATIONS
C2.00	EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY
C2.01	PROPOSED BOUNDARY
C2.02	SITE PLAN
C3.00	HORIZONTAL CONTROL PLAN
C3.01	HORIZONTAL CONTROL PLAN
C4.00	GRADING AND DRAINAGE PLAN
C4.01	GRADING AND DRAINAGE PLAN
C5.00	UTILITY PLAN
C5.01	UTILITY PLAN
C6.00	STORMWATER CONTROL PLAN
C6.01	STORMWATER CONTROL PLAN
C6.02	CONSTRUCTION BEST MANAGEMENT PRACTICES
C7.00	TYPICAL SECTIONS AND CONSTRUCTION DETAILS
C7.01	CONSTRUCTION DETAILS
C7.02	CONSTRUCTION DETAILS
C7.03	CONSTRUCTION DETAILS
C8.00	EAST HILLSDALE BLVD PARKING PLAN
C9.00	FIRE ACCESS PLAN



VICINITY MAP
NTS



LOCATION MAP
NTS



SITE PLAN

PROJECT DATA

OWNER:	477 HILLSDALE, LLC 96 N 3RD ST., STE. 110 SAN JOSE, CA 95112 (408) 773-6833 JARED GAMELIN
ARCHITECT:	DAHLIN GROUP 5865 OWENS DRIVE PLEASANTON, CA 94588 (925) 251-7200 PADRU C. KANG
LANDSCAPE ARCHITECT:	JETT 2 THEATRE SQUARE, SUITE 218 ORINDA, CA 94563 (925) 254-5422 BRUCE JETT
ENGINEER:	BKF ENGINEERS 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 (650) 482-6300 ASHLEY STANLEY
WATER SUPPLY:	CITY OF SAN MATEO
FIRE PROTECTION:	SAN MATEO FIRE DEPARTMENT
SEWAGE DISPOSAL:	CITY OF SAN MATEO
STORM DRAIN:	CITY OF SAN MATEO
GAS & ELECTRIC:	PG&E
TELEPHONE:	VARIOUS PROVIDERS
CABLE:	VARIOUS PROVIDERS

ENGINEER'S STATEMENT

THIS TENTATIVE PARCEL MAP SUBMITTAL HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

07/28/2021
DATE
DAVID JUNGSMANN
P.L.S. #9267
BKF ENGINEERS

THIS TENTATIVE PARCEL MAP SUBMITTAL HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

08/27/2021
DATE
ASHLEY STANLEY
PROJECT MANAGER
P.E. #74181
BKF ENGINEERS



Know what's below.
Call before you dig.

477 E. HILLSDALE BLVD. SAN MATEO, CA

477 Hillsdale, LLC

TITLE SHEET

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925-251-7200

C1.00

GENERAL NOTES

- THE FOLLOWING NOTES ARE NOT PART OF THE CITY OF SAN MATEO'S IMPROVEMENT PLAN PERMIT APPROVAL CONDITIONS BUT ARE PROVIDED AS SUPPLEMENTAL NOTES BY BKF ENGINEERS AND ARE TO BE ADHERED TO BY THE CONTRACTOR. CONTRACTOR SHALL COMPLY WITH CITY OF SAN MATEO SPECIFICATIONS DURING PERFORMANCE OF WORK, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING REQUIRED INSPECTIONS BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVES. BKF ENGINEERS IS NOT RESPONSIBLE FOR DELAY OF WORK CLAIM DUE TO THE CONTRACTOR'S FAILURE TO ARRANGE FOR CITY INSPECTION IN ADVANCE.
- WORK SHALL BE PERFORMED DURING HOURS OTHER THAN THE NORMAL WORKING HOURS OF THE CITY INSPECTION AND MAINTENANCE PERSONNEL. WITHOUT THE APPROVAL OF THE CITY ENGINEER AND WITHOUT FIRST OBTAINING A SPECIAL PERMIT FOR AFTER HOURS WORK FROM THE CITY ENGINEER, CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ANY ADDITIONAL FEES REQUIRED BY THE CITY FOR PERFORMING WORK BEYOND THE NORMAL WORKING HOURS. CONTRACTOR SHALL CONFORM TO THE REQUIREMENT OF THE CITY NOISE ORDINANCE.
- REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- CONTRACTOR SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO ITS ORIGINAL CONDITION.
- REPLACE STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY ENGINEER.
- CONTRACTOR SHALL COORDINATE HIS WORK, AND THAT OF HIS SUBCONTRACTORS, WITH ANY ONGOING GRADING OR SITE WORK OF OTHER CONTRACTORS AND WITH THE INSTALLATION OF FACILITIES BY PG&E, AT&T, AND CABLE TV.
- IF TEMPORARY LANE CLOSURES ARE REQUIRED FOR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL ALSO PROVIDE CONE OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS, PER CALTRANS STANDARDS AND THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ADA ACCESS PATHWAYS SHALL BE MAINTAINED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY ENGINEER AND INSPECTOR.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT, AS REQUIRED BY THE CITY, TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET (5') OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SMOOTH SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS.
- PRIOR TO THE FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF THE BASE MATERIALS FOR STREETS, INSTALL UNDERGROUND UTILITY MAINS AND STUB OUT SERVICE CONNECTIONS, STUB-OUTS SHALL BE INSTALLED AND SHALL NOT DISTURB THE STREET PAVEMENT CURB AND GUTTER, AND SIDEWALK WHEN SERVICE CONNECTIONS ARE MADE.
- DURING CONSTRUCTION, THE CITY STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ACCUMULATION OF MUD AND DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, BKF ENGINEERS, AT (650) 482-6300 BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALK, ETC. TO AVOID ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- CONTRACTOR SHALL POST 24-HOUR EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, POLICE DEPARTMENT AND FIRE DEPARTMENT ON SITE PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CARE AND PROTECTION OF ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS AND STREETS FROM DAMAGE BY HIS OPERATIONS. CONTRACTOR SHALL REPAIR, REPLACE OR CLEAN ANY PART OF THE ABOVE MENTIONED TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER, AT HIS OR HER EXPENSE.
- CONSTRUCTION MATERIALS, EQUIPMENT AND VEHICLES SHALL BE PROPERLY MAINTAINED AND MANAGED AT THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT.
- CONTRACTOR TO OBTAIN REQUIRED PERMITS FOR HAUL ROUTES PRIOR TO DEMOLITION AND CONSTRUCTION.
- CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, UTILITIES, AND GRADING, ETC. SHALL BE DONE BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
- THIS PROJECT MUST COMPLY WITH THE CITY'S MUNICIPAL CODE (SAN MATEO CITY CODE TITLES, 11, 17, 19, 23).
 - WATER ACTIVE EXTERIOR SOIL AREAS AT LEAST TWICE A DAY.
 - COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL OR

PROVIDE 2 FEET OF FREEBOARD.

- APPLY WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZER ON UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS.
- SWEEP PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS DAILY. ALL VISIBLE MUD OR DIRT TRACKED-OUT ONTO ADJACENT PUBLIC ROADS WILL BE REMOVED USING WET POWER VACUUM STREET SWEEPERS AT LEAST ONCE PER DAY. THE USE OF DRY POWER SWEEPING IS PROHIBITED.
- LIMIT ALL VEHICLE SPEEDS ON UNPAVED ROADS TO 15 MPH.
- APPLY HYDROSEED OR NON-TOXIC SOIL STABILIZER TO INACTIVE CONSTRUCTION AREAS.
- ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL STABILIZER TO EXPOSED SOIL STOCKPILES.
- INSTALL SANDBAGS AND OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
- REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
- ALL ROADWAYS, DRIVEWAYS, AND SIDEWALKS TO BE PAVED WILL BE COMPLETED AS SOON AS POSSIBLE. ALL CONC PADS WILL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- POST A PUBLICLY VISIBLE SIGN WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT AT THE LEAD AGENCY REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE BAAQMD'S PHONE NUMBER WILL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICABLE REGULATIONS.

EXISTING CONDITIONS

- BASED ON AN AERIAL SURVEY, GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION AFFECTING SAID LINES.
- ITEMS DEMOLISHED ARE TO BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE AND IN CONFORMANCE WITH THE CITY CONSTRUCTION AND DEMOLITION DEBRIS REUSE AND RECYCLING PROGRAM.
- CONTRACTOR TO COORDINATE ABANDONMENT, REMOVAL, RELOCATION, AND/OR ADJUSTMENT TO GRADE OF EXISTING DRY UTILITIES WITH UTILITY OWNER AND JOINT TRENCH DESIGNER.
- IF UNDERGROUND UTILITY FACILITIES (W, SD, SS, IRRIG, ETC) ARE DISCOVERED BUT NOT SHOWN ON THESE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE BEFORE REMOVAL OF SAID MATERIAL.
- EXISTING TOPOGRAPHIC INFORMATION WAS PREPARED BY BKF ENGINEERS. CONDITIONS ENCOUNTERED ON SITE MAY VARY FROM THOSE SHOWN. REVIEW CONSTRUCTION DOCUMENTS AND CONDUCT INVESTIGATIONS TO UNDERSTAND AND VERIFY EXISTING CONDITIONS AT THE SITE.

UTILITIES

- WATER VALVES OR OTHER FACILITIES OWNED BY THE CITY OF SAN MATEO, CITY AND COUNTY OF SAN FRANCISCO, OR OTHER UTILITY COMPANY SHALL NOT BE OPERATED FOR ANY PURPOSE BY THE CONTRACTOR. REQUIRED OPERATION WILL BE PERFORMED BY AUTHORIZED UTILITY OWNER PERSONNEL. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF THE TIME THAT SUCH OPERATION IS REQUIRED.
- PROVIDE THIRTY-SIX (36) INCHES MINIMUM COVER (MEASURED FROM ROADWAY SURFACE) OVER WATER MAINS. MAINTAIN A MINIMUM ONE FOOT VERTICAL CLEARANCE FROM UTILITIES TO WATER MAINS. MAINTAIN A MINIMUM TEN FOOT HORIZONTAL CLEARANCE FROM OUTSIDE DIAMETER OF PIPE BETWEEN WATER MAINS AND SANITARY SEWER AND A MINIMUM FOUR FOOT HORIZONTAL CLEARANCE FROM OTHER UTILITIES TO WATER MAINS.
- ELECTRIC, GAS, TELEPHONE, CABLE, AND JOINT TRENCH WORK, SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDER. CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY PROVIDER AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING SUCH WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PUBLIC WORKS DEPARTMENT IF EXISTING WATER, SEWER, GAS MAINS, OR SERVICES ARE DISTURBED OR DAMAGED.
- CONTRACTOR SHALL PROTECT UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
- UTILITY BOXES AND LIDS IN VEHICULAR TRAVEL AREAS SHALL BE DESIGNED FOR H-20 LOADING.
- THE PIPE LENGTHS SHOWN ARE FOR PURPOSES OF ENGINEERING CALCULATIONS AND ARE NOT INTENDED FOR BID QUANTITIES OR ORDERING OF MATERIALS.
- EXISTING PG&E, AT&T, CABLE, AND FIBER OPTIC MANHOLES/VAULTS SHALL BE ADJUSTED TO GRADE BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE APPROPRIATE UTILITY PROVIDER. OTHER UTILITY BOXES SHALL BE ADJUSTED TO FINISH GRADE BY THE CONTRACTOR.
- CONSTRUCTION OF GRAVITY FLOWING SYSTEMS SHALL PROCEED FROM THE DOWNSTREAM CONNECTION TO THE UPSTREAM TERMINUS.
- STORM DRAIN AND SANITARY SEWER UTILITY INSTALLATION AND MATERIALS SHALL CONFORM TO CITY OF SAN MATEO STANDARD DETAILS AND SPECIFICATIONS, LATEST EDITION, UNLESS NOTED OTHERWISE.
- WATER PROOF MANHOLES WITH RAM-NEK OR APPROVED EQUAL PRIOR TO BACKFILLING AROUND MANHOLE.
- CONSTRUCT FIRE HYDRANTS PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DRAWINGS - LATEST EDITION.

- PROVIDE THRUST BLOCKS AT BENDS GREATER THAN 11-1/4 DEGREES AND AT CROSSES, TEES, WYES, CAPS, PLUGS VALVES AND HYDRANTS IN ACCORDANCE WITH CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DRAWINGS.
- CONSTRUCT VERTICAL GRADE BREAKS AND HORIZONTAL DEFLECTIONS IN UNDERGROUND UTILITIES USING HIGH DEFLECTION COUPLINGS WITH A MAXIMUM TOTAL DEFLECTION OF 2 DEGREES PER COUPLING. DEFLECTION WILL NOT EXCEED 1/2 OF MANUFACTURER'S ALLOWABLE DEFLECTION.
- HDPE PIPE DERIVES THEIR STRENGTH FROM THE COMPACTED BEDDING MATERIAL BELOW AND BESIDE THE PIPE HAUNCHES. CAREFULLY PLACE AND COMPACT PIPE BEDDING AND BACKFILL MATERIAL, AND ALSO THE INSERTION AND REMOVAL OF SHEET PILING ADJACENT TO IT. USE CAUTION WHEN OPERATING EQUIPMENT ON SUBGRADE NEAR PIPE INSTALLATIONS.
- STORM DRAIN INLETS SHALL BE LABELED IN ACCORDANCE WITH THE CITY OF SAN MATEO'S STORM DRAIN INLET LABEL PROGRAM ("NO DUMPING FLOWS TO BAY").

RECORD DRAWINGS

- KEEP ACCURATE RECORD DRAWINGS SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF WORK.
- PROVIDE THE LOCATION AND ELEVATION OF THE EXISTING IMPROVEMENTS ENCOUNTERED. CERTIFY THE "RED-LINED" AS-BUILT PLANS FOR THE PROJECT ON A SET OF CONSTRUCTION PLAN REPRODUCIBLE, AND DELIVER THE DRAWINGS TO THE OWNER'S REPRESENTATIVE.

STATEMENT OF RESPONSIBILITY

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD BOTH DESIGN PROFESSIONAL AND THE CITY OF SAN MATEO HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF EITHER THE DESIGN PROFESSIONAL OR THE CITY OF SAN MATEO, RESPECTIVELY.
 - UNAUTHORIZED CHANGES AND USES
 - THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

DRAWING LANGUAGE

- NOTES AND CALLOUTS ON DRAWINGS MAY USE IMPERATIVE LANGUAGE REQUIREMENTS EXPRESSED IMPERATIVELY ARE TO BE PERFORMED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

NOISE

- THE FOLLOWING NOISE REDUCTION MEASURES SHALL BE INCORPORATED INTO CONSTRUCTION PLANS AND CONTRACTOR SPECIFICATIONS TO REDUCE THE IMPACT OF TEMPORARY CONSTRUCTION-RELATED NOISE ON NEARBY PROPERTIES:
 - COMPLY WITH MANUFACTURER'S MUFFLER REQUIREMENTS ON ALL CONSTRUCTION EQUIPMENT ENGINES.
 - TURN OFF CONSTRUCTION EQUIPMENT WHEN NOT IN USE, WHERE APPLICABLE.
 - LOCATE STATIONARY EQUIPMENT AS FAR AS PRACTICAL FROM RECEIVING PROPERTIES.
 - USE TEMPORARY SOUND BARRIERS OR SOUND CURTAINS AROUND LOUD STATIONARY EQUIPMENT IF THE OTHER NOISE REDUCTION METHODS ARE NOT EFFECTIVE OR POSSIBLE.
 - SHROUD OR SHIELD IMPACT TOOLS AND USE ELECTRIC-POWERED RATHER THAN DIESEL-POWERED CONSTRUCTION EQUIPMENT.

WORK HOURS

- WORK HOURS AS SPECIFIED IN PERMIT DOCUMENTS.

AIR QUALITY

- THE CONTRACTOR SHALL SECURE PERMIT FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL IMPLEMENT THE BASIC CONSTRUCTION MITIGATION MEASURES RECOMMENDED BY THE BAAQMD TO REDUCE FUGITIVE DUST EMISSIONS.

NOTICE OF CONSTRUCTION

- THE APPLICANT SHALL NOTIFY NEIGHBORS WITHIN 300' OF THE PROJECT SITE OF THE CONSTRUCTION SCHEDULE IN WRITING, PRIOR TO CONSTRUCTION. A COPY OF THE NOTICE AND THE MAILING LIST SHALL BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

TREE PROTECTION NOTES

- CURRENT STANDARD DETAIL AT CITY ENGINEERING DIVISION SHALL PREVAIL.
- FOR TREE PROTECTION PLAN, SLP.

DISCOVERY OF CONTAMINATED SOILS

- IF CONTAMINATED SOILS ARE DISCOVERED, THE APPLICANT WILL ENSURE THE CONTRACTOR EMPLOYS ENGINEERING CONTROLS AND BEST MANAGEMENT PRACTICES (BMPs) TO MINIMIZE HUMAN EXPOSURE TO POTENTIAL CONTAMINANTS. ENGINEERING CONTROLS AND CONSTRUCTION BMPs WILL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - CONTRACTOR EMPLOYEES WORKING ON-SITE WILL BE CERTIFIED IN OSHA'S 40-HOUR HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING.
 - CONTRACTOR WILL STOCKPILE SOIL DURING REDEVELOPMENT ACTIVITIES TO ALLOW FOR PROPER CHARACTERIZATION AND EVALUATION OF DISPOSAL OPTIONS.
 - CONTRACTOR WILL MONITOR AREA AROUND CONSTRUCTION SITE FOR FUGITIVE VAPOR EMISSIONS WITH APPROPRIATE FIELD SCREENING INSTRUMENTATION.

- CONTRACTOR WILL WATER/MIST SOIL AS IT IS BEING EXCAVATED AND LOADED ONTO TRANSPORTATION TRUCKS.
- CONTRACTOR WILL PLACE ANY STOCKPILED SOIL IN AREAS SHIELDED FROM PREVAILING WINDS.
- CONTRACTOR WILL COVER THE BOTTOM OF EXCAVATED AREAS WITH SHEETING WHEN WORK IS NOT BEING PERFORMED.

DISCOVERY OF ARCHAEOLOGICAL RESOURCES

- IF PREHISTORIC OR HISTORIC-PERIOD CULTURAL MATERIALS ARE UNEARTHED DURING GROUND-DISTURBING ACTIVITIES, IT IS RECOMMENDED THAT ALL WORK WITHIN 100' OF THE FIND BE HALTED UNTIL A QUALIFIED ARCHAEOLOGIST AND NATIVE AMERICAN REPRESENTATIVE CAN ASSESS THE SIGNIFICANCE OF THE FIND. PREHISTORIC MATERIALS MIGHT INCLUDE OBSIDIAN AND CHERT FLAKED-STONE TOOLS (E.G., PROJECTILE POINTS, KNIVES, SCRAPERS) OR TOOL-MAKING DEBRIS; CULTURALLY DARKENED SOIL ("MIDDEN") CONTAINING HEAT-AFFECTED ROCKS AND ARTIFACTS; STONE MILLING EQUIPMENT (E.G., MORTARS, PESTLES, HANDSTONES, OR MILLING SLABS); AND BATTERED-STONE TOOLS, SUCH AS HAMMERSTONES AND PITTED STONES. HISTORIC-PERIOD MATERIALS MIGHT INCLUDE STONE, CONCRETE, OR ADOBE FOOTINGS AND WALLS; FILLED WELLS OR PRIVES; AND DEPOSITS OF METAL, GLASS, AND/OR CERAMIC REFUSE. IF THE FIND IS DETERMINED TO BE POTENTIALLY SIGNIFICANT, THE ARCHAEOLOGIST, IN CONSULTATION WITH THE NATIVE AMERICAN REPRESENTATIVE, WILL DEVELOP A TREATMENT PLAN THAT COULD INCLUDE SITE AVOIDANCE, CAPPING, OR DATA RECOVERY.

DISCOVERY OF HUMAN REMAINS

- IN THE EVENT OF THE DISCOVERY OF HUMAN REMAINS DURING CONSTRUCTION OR DEMOLITION, THERE SHALL BE NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE WITHIN A 50' RADIUS OF THE LOCATION OF SUCH DISCOVERY, OR ANY NEARBY AREA REASONABLY SUSPECTED TO OVERLIE ADJACENT REMAINS. THE SANTA CLARA COUNTY CORONER SHALL BE NOTIFIED AND SHALL MAKE A DETERMINATION AS TO WHETHER THE REMAINS ARE NATIVE AMERICAN. IF THE CORONER DETERMINES THAT THE REMAINS ARE NOT SUBJECT TO HIS/HER AUTHORITY, HE/ SHE SHALL NOTIFY THE NATIVE AMERICAN HERITAGE COMMISSION, WHICH SHALL ATTEMPT TO IDENTIFY DESCENDANTS OF THE DECEASED NATIVE AMERICAN. IF NO SATISFACTORY AGREEMENT CAN BE REACHED AS TO THE DISPOSITION OF THE REMAINS PURSUANT TO THIS STATE LAW, THEN THE LANDOWNER SHALL REINTER THE HUMAN REMAINS AND ITEMS ASSOCIATED WITH NATIVE AMERICAN BURIALS ON THE PROPERTY IN A LOCATION NOT SUBJECT TO FURTHER SUBSURFACE DISTURBANCE. A FINAL REPORT SHALL BE SUBMITTED TO THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO RELEASE OF A CERTIFICATE OF OCCUPANCY. THIS REPORT SHALL CONTAIN A DESCRIPTION OF THE MITIGATION PROGRAMS AND ITS RESULTS, INCLUDING A DESCRIPTION OF THE MONITORING AND TESTING RESOURCES ANALYSIS METHODOLOGY AND CONCLUSIONS, AND A DESCRIPTION OF THE DISPOSITION/ CURATION OF THE RESOURCES. THE REPORT SHALL VERIFY COMPLETION OF THE MITIGATION PROGRAM TO THE SATISFACTION OF THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR.

DISCOVERY OF PALEONTOLOGICAL RESOURCES

- IN THE EVENT THAT A FOSSIL IS DISCOVERED DURING CONSTRUCTION OF THE PROJECT, EXCAVATIONS WITHIN 50' OF THE FIND SHALL BE TEMPORARILY HALTED OR DELAYED UNTIL THE DISCOVERY IS EXAMINED BY A QUALIFIED PALEONTOLOGIST, IN ACCORDANCE WITH SOCIETY OF VERTEBRATE PALEONTOLOGY STANDARDS. THE CITY SHALL INCLUDE A STANDARD INADVERTENT DISCOVERY CLAUSE IN EVERY CONSTRUCTION CONTRACT TO INFORM CONTRACTORS OF THIS REQUIREMENT. IF THE FIND IS DETERMINED TO BE SIGNIFICANT AND IF AVOIDANCE IS NOT FEASIBLE, THE PALEONTOLOGIST SHALL DESIGN AND CARRY OUT A DATA RECOVERY PLAN CONSISTENT WITH THE SOCIETY OF VERTEBRATE PALEONTOLOGY STANDARDS.

BASIS OF BEARINGS

- THE CALCULATED BEARING OF SOUTH 74°20'42" EAST BETWEEN THE FOUND IRON PIPE AND THE FOUND CONCRETE MONUMENT ALONG THE NORTHERLY LINE OF PARCEL 1 AS SHOWN ON THAT PARCEL MAP NO. 125, HILLSDALE INN, FILED FOR RECORD ON AUGUST 23, 1974, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

BENCHMARK

- CITY OF SAN MATEO BENCHMARK NO. 022-001, RAMSET NAIL AND WASHER IN TOP OF CURB AT THE SOUTH SIDE OF THE TURNABOUT CENTER ISLAND AT SARATOGA AVENUE AND SANTA CLARA WAY. ELEVATION 100.660 FEET.

SURVEY NOTE

- EXCEPTION 6 - A PUBLIC UTILITY EASEMENT COULD NOT BE RETRACED. THE RECORD DOCUMENT 2184 OR 370 IS ILLEGIBLE.

LEGEND

	BUILDING LINE
	AERIAL BUILDING LINE
	FENCE
	EASEMENT LINE
	CENTERLINE
	MONUMENT LINE
	BOUNDARY LINE
	LOT LINE
	DIMENSION/ TIE LINE
	RIGHT OF WAY LINE
	SETBACK LINE
	EDGE OF PAVEMENT
	TOP OF CURB
	GUTTER
	CONCRETE
	BACK OF WALK
	WALL
	EDGE OF DIRT ROAD/ PATH
	WATER LINE
	SANITARY LINE
	STORM DRAIN LINE
	GAS LINE
	TELECOMMUNICATIONS

ABBREVIATIONS

AC	ASPHALT
AD	AREA DRAIN
AFN	ASSESSOR'S PARCEL NUMBER
BFP	BACK FLOW PREVENTOR
BOW	BOTTOM OF WALL
BW	BACK OF WALK
C	CONCRETE
CAB	CABINET
CB	CATCH BASIN
CLDR	CENTERLINE DOOR
CO	CLEAN OUT
COL	COLUMN
COMM	COMMUNICATIONS BOX
COR	CORNER
DI	DROP INLET
EB	ELECTRIC BOX
ELEC	ELECTRIC
ESEMT	EASEMENT
EW	EDGE OF WALK
EV	ELECTRIC VAULT
FD	FOUND
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
G	GROUND SPOT ELEVATION
GR	GRASS
HR	HANDICAP RAMP
INV	INVERT
LG	LIP OF GUTTER
L.M.E.	LANDSCAPE MAINTENANCE EASEMENT
M	MAP
MON	MONUMENT
OR	OFFICIAL RECORD
PAR	PARCEL MAP
P.U.E.	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SLB	STREET LIGHT BOX
SO.FT.SQUARE	FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
S.W.E.	SIDEWALK EASEMENT
T	TOP OF CURB
TW	TOP OF WALL
UB	UTILITY BOX
VG	VALLEY GUTTER
WB	WATER BOX
WL	WATER LINE
WM	WATER METER
VCL	VITRIFIED CLAY PIPE VAULT

SYMBOL LEGEND

	ACCESSIBLE VEHICLE SIGN
	AREA DRAIN
	BACKFLOW PREVENTOR
	BENCHMARK
	BOLLARD
	BREAKLINE
	CATCH BASIN
	CENTERLINE
	CLEANOUT
	DROP INLET
	ELECTRIC MANHOLE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	FOUND MONUMENT AS NOTED
	GAS METER
	GAS VALVE
	GUY POLE
	JOINT POLE
	LIGHT
	POST INDICATOR VALVE
	PROPERTY LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	SET MONUMENT AS NOTED
	SIGN
	STORM DRAIN MANHOLE
	STREET LIGHT
	SURVEY CONTROL POINT
	TELEPHONE MANHOLE
	TRANSFORMER
	TREE AS NOTED
	WATER MANHOLE
	WATER METER
	WATER VALVE



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477 Hillsdale, LLC

NOTES, LEGEND AND ABBRV

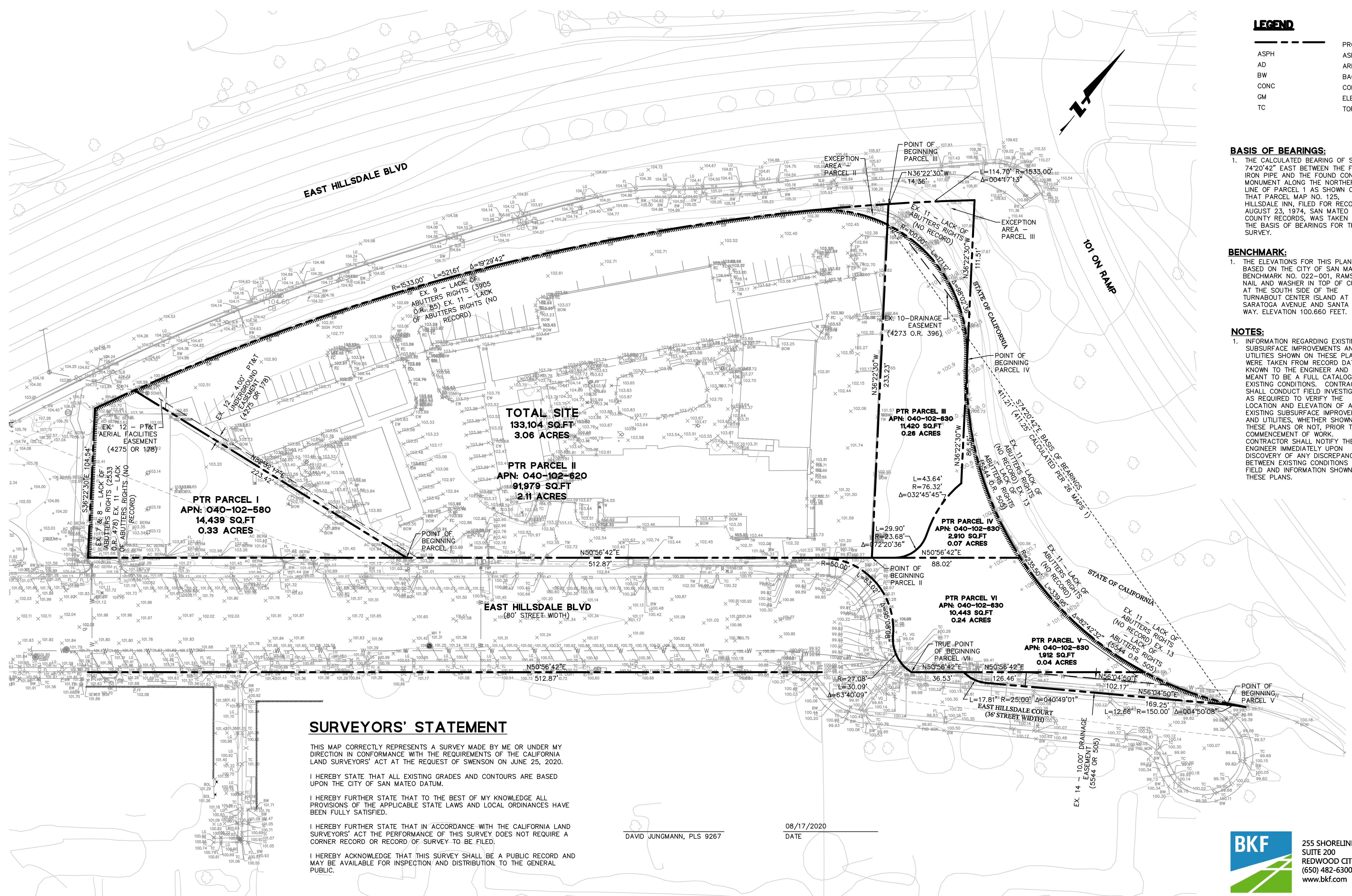
JOB NO.

DATE 03-18-2022

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LEGEND

---	PROPERTY LINE
ASPH	ASPHALT
AD	AREA DRAIN
BW	BACK OF WALK
CONC	CONCRETE
GM	ELECTRIC METER
TC	TOP OF CURB

BASIS OF BEARINGS:

1. THE CALCULATED BEARING OF SOUTH 74°20'42" EAST BETWEEN THE FOUND IRON PIPE AND THE FOUND CONCRETE MONUMENT ALONG THE NORTHERLY LINE OF PARCEL 1 AS SHOWN ON THAT PARCEL MAP NO. 125, HILLSDALE INN, FILED FOR RECORD ON AUGUST 23, 1974, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:

1. THE ELEVATIONS FOR THIS PLAN ARE BASED ON THE CITY OF SAN MATEO BENCHMARK NO. 022-001, RAMSET NAIL AND WASHER IN TOP OF CURB AT THE SOUTH SIDE OF THE TURNABOUT CENTER ISLAND AT SARATOGA AVENUE AND SANTA CLARA WAY. ELEVATION 100.660 FEET.

NOTES:

1. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.

SURVEYORS' STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS' ACT AT THE REQUEST OF SWENSON ON JUNE 25, 2020.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS ARE BASED UPON THE CITY OF SAN MATEO DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF THE APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY TO BE FILED.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

DAVID JUNGSMANN, PLS 9267
 08/17/2020
 DATE

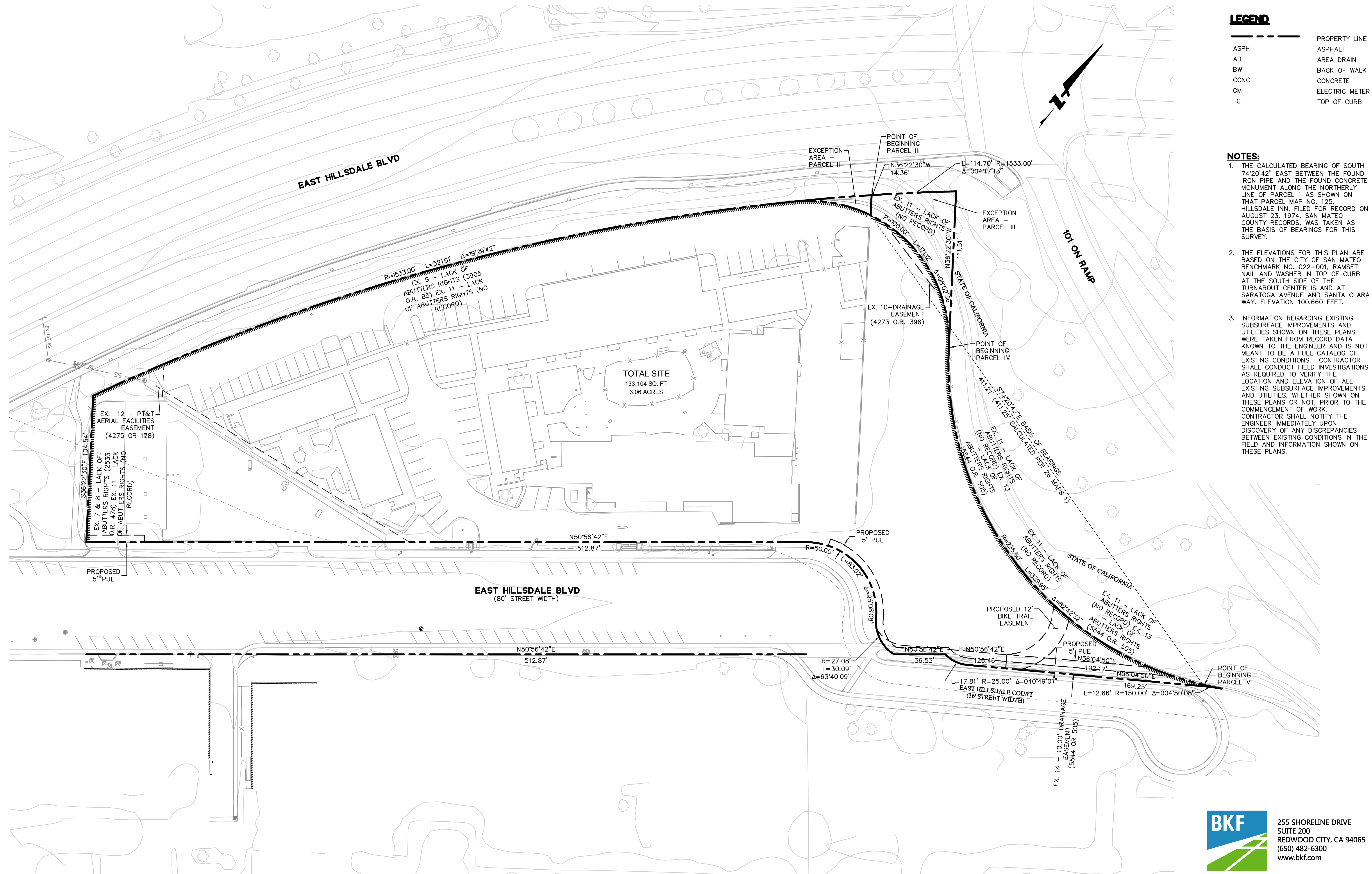
477 E. HILLSDALE BLVD. SAN MATEO, CA
477 Hillside, LLC

EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY

BKF
 255 SHORELINE DRIVE
 SUITE 200
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LEGEND

---	PROPERTY LINE
ASPH	ASPHALT
AD	AREA DRAIN
BW	BACK OF WALK
CONC	CONCRETE
GM	ELECTRIC METER
TC	TOP OF CURB

- NOTES:**
1. THE CALCULATED BEARING OF SOUTH 74°20'42" EAST BETWEEN THE FOUND IRON PIPE AND THE FOUND CONCRETE MONUMENT ALONG THE NORTHERLY LINE OF PARCEL I AS SHOWN ON THAT PARCEL MAP NO. 125, HILLSDALE INN, FILED FOR RECORD ON AUGUST 23, 1974, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.
 2. THE ELEVATIONS FOR THIS PLAN ARE BASED ON THE CITY OF SAN MATEO BENCHMARK NO. 022-001, RAMSET NAIL AND WASHER IN TOP OF CURB AT THE SOUTH SIDE OF THE TURNABOUT CENTER ISLAND AT SARATOGA AVENUE AND SANTA CLARA WAY. ELEVATION 100.660 FEET.
 3. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.

477 E. HILLSDALE BLVD. SAN MATEO, CA
 477 Hillside, LLC

PROPOSED BOUNDARY



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